

Borough Council of  
**King's Lynn &  
West Norfolk**



**Planning Committee**  
**Monday, 3rd June, 2024 at 9.30 am**  
**in the Assembly Room, Town Hall, Saturday Market**  
**Place, King's Lynn PE30 5DQ**

**Reports marked to follow on the Agenda and/or Supplementary Documents**

1. **Presentation on Applications (Pages 2 - 116)**

**Contact**

Democratic Services  
Borough Council of King's Lynn and West Norfolk  
King's Court  
Chapel Street  
King's Lynn  
Norfolk  
PE30 1EX  
Tel: 01553 616394  
Email: [democratic.services@west-norfolk.gov.uk](mailto:democratic.services@west-norfolk.gov.uk)

# Planning Committee

## 3 June 2024

Agenda Item 9

2



22/01970/F

3





West Elevation 1:100



North Elevation 1:100



East Elevation 1:100



South Elevation & Section B-B 1:100



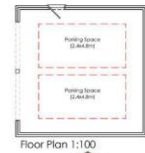
South Elevation 1:100



North Elevation & Section A-A 1:100



Proposed Site Plan 1:200



Floor Plan 1:100

Materials to be:

- Red facing brickwork
- Flint cobbles
- Red clay pan tiles
- Natural timber cladding
- Aluminium windows and doors
- Aluminium rainwater goods
- Natural oak posts



North Elevation 1:100



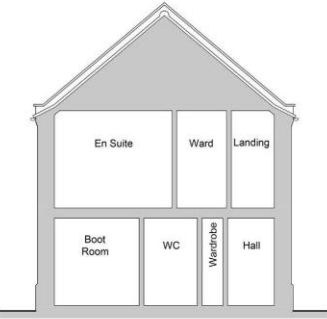
West Elevation



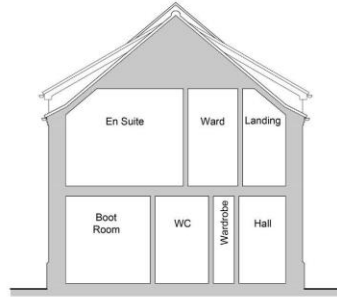
South Elevation



East Elevation



Section C-C1:50



Section D-D1:50

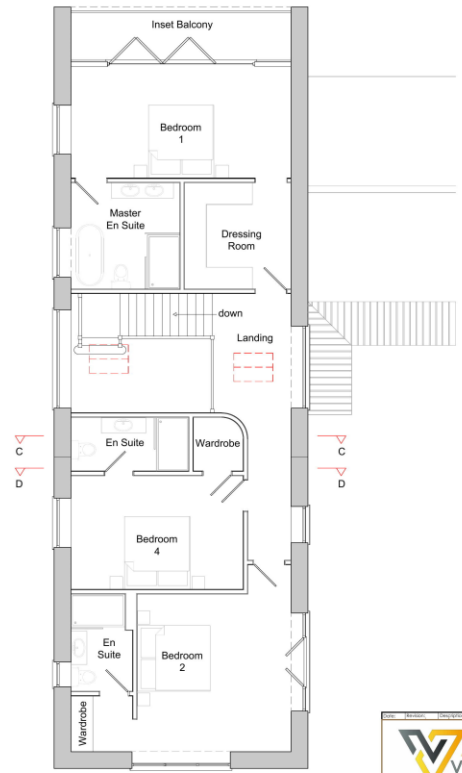
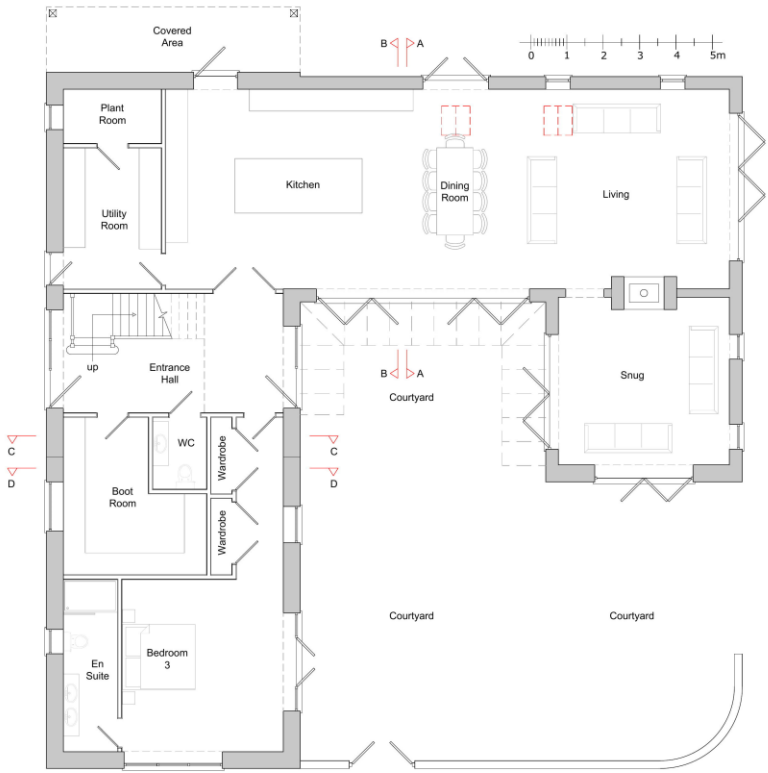
**Vertex Architecture**  
Planning | Architectural Design | Consultancy

44 Beach Road, Holme-Next-the-Sea, Norfolk, PE36 6LG  
Tel: 01263 812345 | Email: info@vertex-arch.co.uk

Project: Replacement Dwelling Proposed Elevations & Site Plan  
Date: September 2023 | Scale: 1:100, 1:200 & A1

Project No: 22033 | Drawing No: 03 | Revision: G

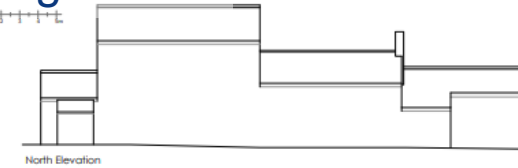
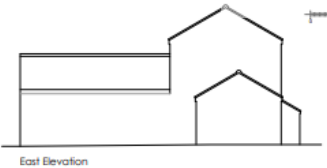
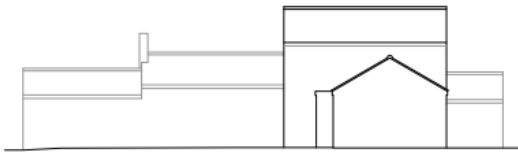
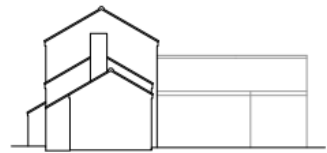
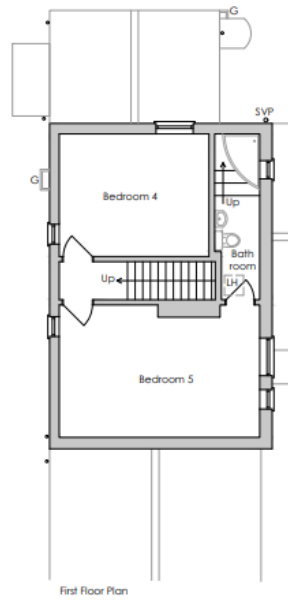
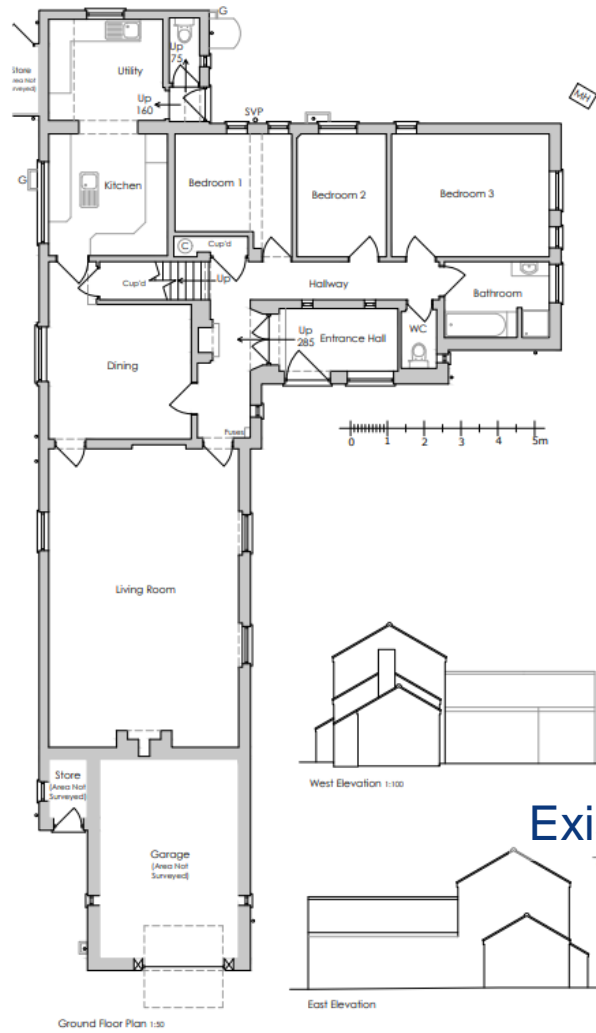
5



Gross Internal Area's		
Existing Dwelling & Garage	224.1m2	2412.2sqf
Proposed Dwelling	312.5m2	3363.7sqf

  
**VERTEX**  
 ARCHITECTURE  
11 Southgate Road, Norwich, Norfolk PE1 1AA, UK  
 Tel: 01603 733000 | Email: info@vertex-arch.co.uk  
 44 Beach Road, Holme-Next-The-Sea  
 Norfolk, PE36 6LG  
 Project:  
 Replacement Dwelling  
 Proposed Floor Plans  
 Date:  
 September 2023 1:50, 1:200 @A1  
 Revision:  
 22033 02 G

9



# Existing Plans



44 Beach Road, Holme-Next-The-Sea  
Norfolk, PE36 6JG

Replacement Dwelling  
Existing Plans, Elevations & Site

September 2022 1:50, 1:100  
1:200 & 1:1250 @ A1

22033 01

7



Brownsea as viewed from Beach Road.

22/01970/F

Slide  
No.7

8



Existing access point to be retained.



22/01970/F

6

Slide  
No.8



North elevation of existing dwelling.



22/01970/F

Slide  
No.10

11



South projection and east elevation.



Garden area as viewed from Beach Road.



Continuous hedgerows/trees adj. to the highway to north of property.



Garden area and existing south boundary.

# Speaker David Hasler

15



# Bradgate Park

22/01970/F

Slide  
No.15



16





22/01970/F

# Charles Bennion

Slide  
No.16

17



22/01970/F



Slide  
No.17

18



# Speaker Wendy Norman

19



# Impacts on the Street Scene, Conservation Area and National

## 22/01970/F Landscape (AONB)

Slide  
No.19

*“The street scene is intensely rural in character with low density dwellings around a verdant street scene. The site will be viewed in association with the residential properties in either direction and the provision of appropriate landscaping particular along the front street scene boundary will limit any visual impacts”  
(Officer Report)*



**Are any other houses visible in the street scene?**

**Will planting 60cm whips restore the ‘verdant boundary’ and the street scene’?**

**Will planting 60cm whips screen the development from the street and the Village Green?**

**Are the recommendations in the Officer Report reliable?**

This tree has been cut down

Is this really a car port?



# Do the public benefits outweigh the identified harm to the Heritage Asset?

22/01970/F

Slide  
No.20



Can building a new house with this level of flood risk be of any benefit to the public?

Best case: 1.200 Flood ignoring climate change (EA advice)



Can building a new house with this level of flood risk justify the harm to Holme's Conservation Area and enjoyment by visitors?



# Speaker Chris Lindley

22



22/01970/F

Slide  
No.22



22/01970/F

Slide  
No.23





22/01970/F

Slide  
No.24

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22/01970/F

Slide  
No.25

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22/01970/F

Slide  
No.26



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22/01970/F

Slide  
No.27

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22/01970/F

Slide  
No.28

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Slide  
No.29

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22/01970/F

Slide  
No.30

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22/01970/F

Slide  
No.31

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22/01970/F

Slide  
No.32

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22/01970/F

Slide  
No.33

34



23/01073/F



23/01073/F

ELECTRIC OVERHEAD CABLE

FIELD CROP



**IF IN DOUBT ABOUT ANY INFORMATION CONTAINED IN THIS DRAWING ASK AN ARCHITECT, SURVEYOR, ENGINEER OR OTHER APPROPRIATE PROFESSIONAL CONSULTANT.**

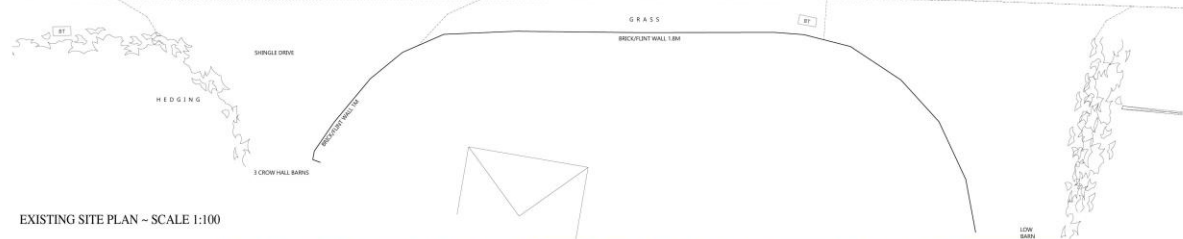
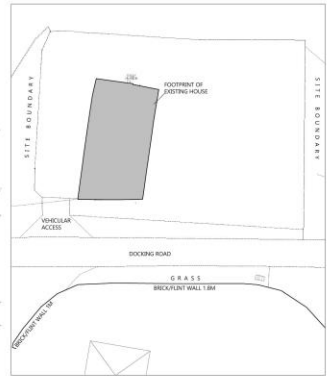
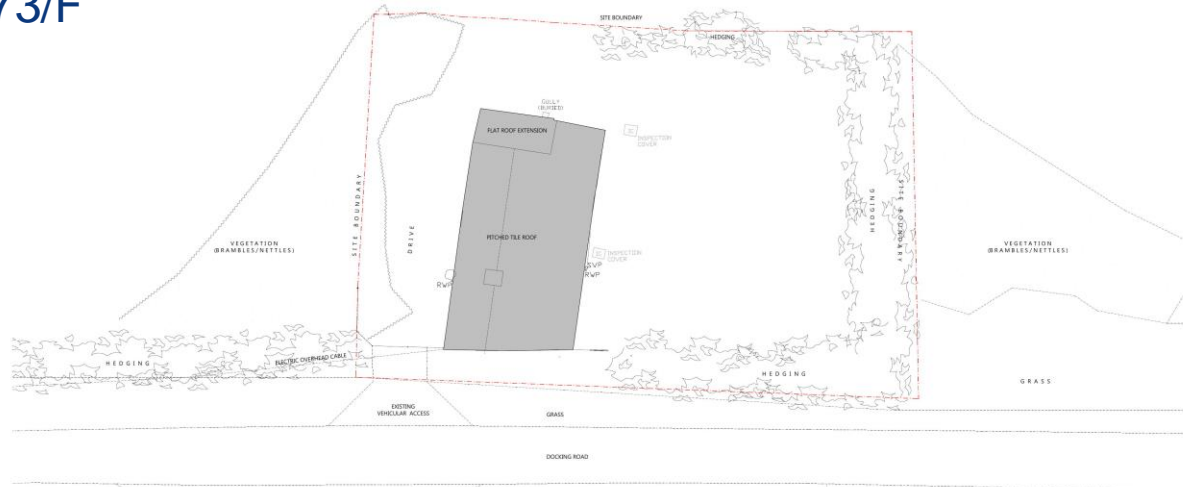
**CONSTRUCTION (DESIGN AND MANAGEMENT) REGULATIONS 2016**  
DESIGNEES HAVING INFORMATION FOR CONSTRUCTION

1. Plans and sections shall be prepared to the satisfaction of the local authority and shall be submitted to the local authority for their approval.
2. The construction shall be carried out in accordance with the approved plans and sections.
3. Any material or workmanship shall be of such quality and shall be used in accordance with the approved plans and sections.
4. The construction shall be carried out in accordance with the approved plans and sections and shall be completed within the time specified in the approved plans and sections.
5. The construction shall be carried out in accordance with the approved plans and sections and shall be completed within the time specified in the approved plans and sections.
6. The construction shall be carried out in accordance with the approved plans and sections and shall be completed within the time specified in the approved plans and sections.

**THIS INFORMATION MUST BE CHECKED ON SITE AND ANY RISKS IDENTIFIED BY OTHER PARTIES REPORTED TO THE PRINCIPAL DESIGNER.**

Slide No.35

36



EXISTING BLOCK PLAN - SCALE 1:200

EXISTING SITE PLAN - SCALE 1:100



VIEW FROM DOCKING ROAD



EAST ELEVATION/ENTRANCE



SOUTH VIEW



WEST SIDE ELEVATION

Borough Council of King's Lynn & West Norfolk

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PL1 N/A/21 Not for planning  
 PAC N/A/21 Not for planning  
 PA1 N/A/21 Not for planning

**Nicholas Jacob Architects**  
 Architecture • Conservation • Interiors

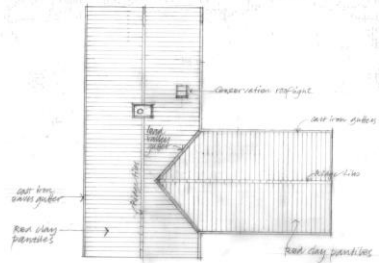
100, Church Lane, King's Lynn, Norfolk, PE30 1JH

**PLANNING**

Client/Project:  
 Camilla Carter  
 Crow Cottage, Burnham Market, Replacement dwelling

Drawing title:  
 Existing Site plan and existing block plan

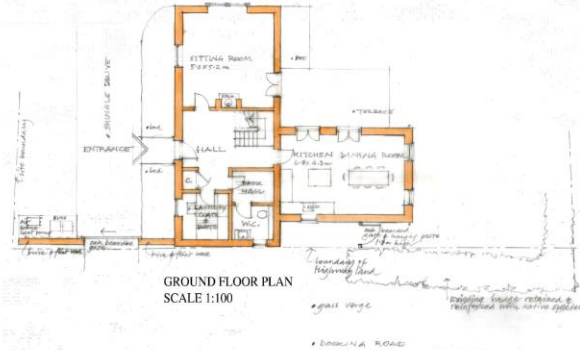
Project number:	22035	Drawing number:	100	Revision:	PL1
Scale:	As shown	Drawn By:	QA1 YG	Checked By:	NZ
Date:		Issue:		Drawn:	04/22



ROOF PLAN  
SCALE 1:100



FIRST FLOOR PLAN  
SCALE 1:100



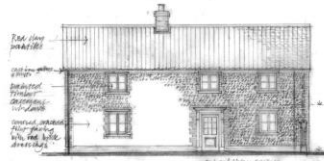
GROUND FLOOR PLAN  
SCALE 1:100



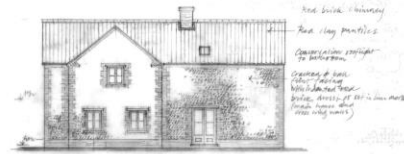
NORTH ELEVATION - SCALE 1:100



SOUTH ELEVATION - SCALE 1:100



EAST ELEVATION - SCALE 1:100



WEST ELEVATION - SCALE 1:100

**DRAWING DECLARATION AND CONFIRMATION**

**PLEASE NOTE: ANY INFORMATION CONTAINED IN THIS DRAWING IS UNLESS OTHERWISE SPECIFICALLY INDICATED TO BE FOR INFORMATION ONLY AND IS NOT TO BE USED FOR CONSTRUCTION.**

**CONSTRUCTION (DESIGN AND MANAGEMENT) REGULATIONS 2015**

**REGULATIONS RELEVANT TO CONSTRUCTION**

1. If you are not fully satisfied for reasons stated during the construction of the work, you should inform the contractor immediately, in writing, within 14 days of the completion of the work.
2. Suitable precautions to be taken during construction, but not necessarily during the construction of the work.
3. All work should be done in accordance with the design and construction details of the drawings.
4. The contractor should be aware that any work to be done or removed should be done in accordance with the design and construction details of the drawings.
5. The contractor should be aware of the general condition and stability of existing structures and any work to be done should be done in accordance with the design and construction details of the drawings.
6. All work should be done in accordance with the design and construction details of the drawings.

**THIS INFORMATION MUST BE CHECKED ON SITE AND ANY WORK IDENTIFIED BY OTHER PARTS REPORTED TO THE PROJECT DESIGNER.**

SCALE BAR 1:100

**Nicholas Jacob Architects**  
Architecture • Conservation • Interiors

100 The Old Rectory, King's Lynn, Norfolk PE34 1JG  
Tel: 01553 812345 Fax: 01553 812346  
www.nicholasjacob.com

**PLANNING**

Client: Camilla Carter, Crow Cottage, Burnham Market  
Proposed: Replacement Dwelling

Drawings:  
Proposed  
Plans, Elevations and Sections

Project number	Priority number	Revision
22035	102	PL 3
Scale	Drawn by	Checked by
1:100	@M JDC	NJ
		DATE
		JAN 24

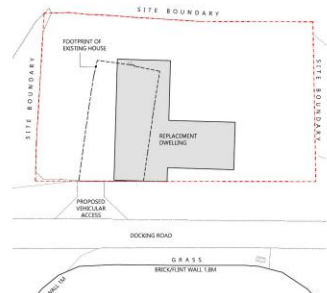
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23/01073/F

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PROPOSED SITE PLAN ~ SCALE 1:100



PROPOSED BLOCK PLAN ~ SCALE 1:200

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- CONSTRUCTION (DESIGN AND MANAGEMENT) REGULATIONS 2015**  
REGULATIONS SHOULD BE FOLLOWED ON THE CONSTRUCTION
1. Clients must fully understand the risks involved during the construction of the works intended by the drawings and/or documents, health & safety and/or as a member of the project team safety planning.
  2. Suitable protection to be provided during not work with material production.
  3. All construction activities shall be undertaken only during the hours of daylight unless otherwise agreed in writing, save in the case of an emergency.
  4. The construction should be done in a way that does not lead to a collapse or other serious risk to the public, save in the case of an emergency.
  5. All construction shall be done in a way that does not lead to a collapse or other serious risk to the public, save in the case of an emergency.
  6. All construction shall be done in a way that does not lead to a collapse or other serious risk to the public, save in the case of an emergency.
- THIS DRAWING IS ONLY FOR THE CONSTRUCTION OF THE WORKS IDENTIFIED BY THE DRAWING AND/OR DOCUMENTS AND IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

Slide No.37

PL1	21/03/20	Revised Planning Application and Block Plan	JAC	AC
PL2	05/04/20	Revised Planning	JAC	AC
PL3	05/04/20	Revised Planning	JAC	AC
PL4	05/04/20	Revised Planning	JAC	AC
PL5	05/04/20	Final Block Plan	JAC	AC

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Architecture • Conservation • Interiors

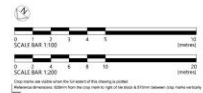
15, The Quadrant, 3rd Floor, Guildhall, Ipswich, Suffolk, IP1 1PU  
Tel: 01473 211111  
www.nja.co.uk

**PLANNING**

Client/Project:  
Camilla Carter, Crow Cottage, Burnham Market Replacement Dwelling

Drawing title:  
**PROPOSED SITE PLAN AND BLOCK PLAN**

Project number:	22035	Drawing number:	101	Revision:	PL4
Date:	As shown	Drawn By:	GA1	Checked By:	JAC
				Date:	JAN 24





View towards site looking east.

23/01073/F

Slide  
No.39

40



View towards from Docking Road.





23/01073/F

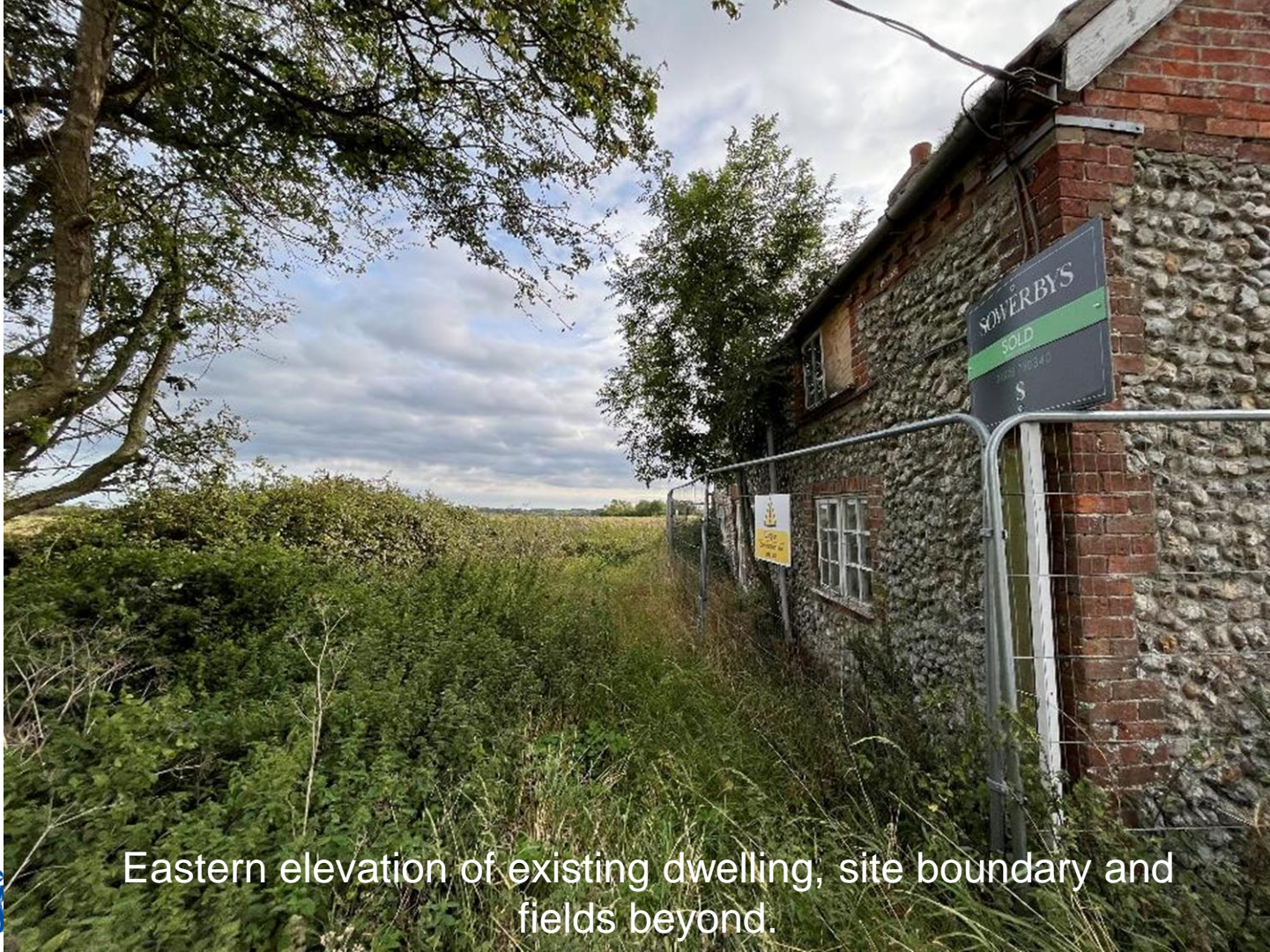
Slide  
No.40

41



View towards showing frontage looking south/west.





Eastern elevation of existing dwelling, site boundary and fields beyond.



Western elevation of existing dwelling and plot looking south.

23/01073/F

Slide  
No.43

44



View towards neighbouring residential property looking  
north.



23/01073/F

Slide  
No.44

45



View towards neighbouring residential property and frontage to Docking Road looking north/east.

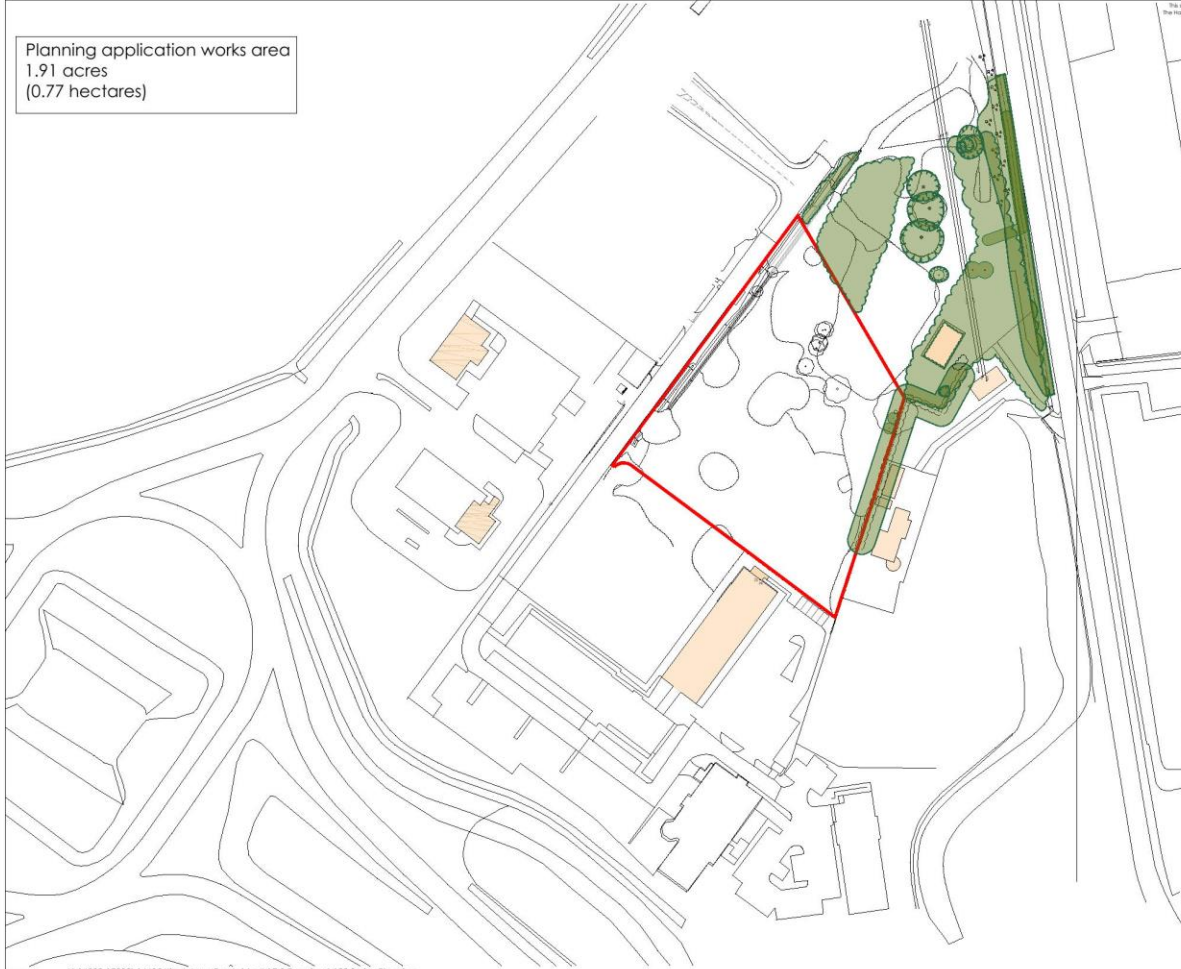


23/02195/F

46



Planning application works area  
1.91 acres  
(0.77 hectares)



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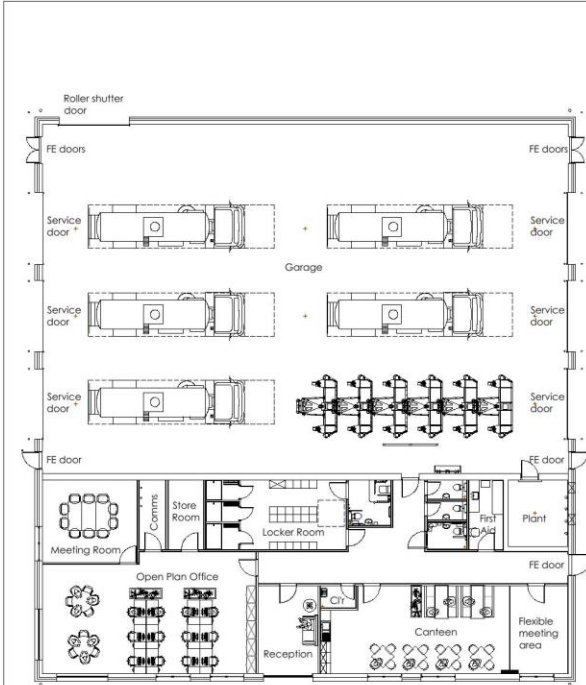
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SCALE 1:1250

Rev	Date	Description	Rev No	CHK'D BY
A	12.04.24	Distance survey carried out/updated	JAM	PERW
<b>Project Title</b>				
Proposed Maintenance Depot Freebridge Park Clenchwarton Road King's Lynn				
<b>Client</b>				
National Highways				
<b>Block</b>				
Planning				
<b>Scale</b>			<b>Drawing Size</b>	
1:1250			A3	
<b>Date</b>		<b>Drawn by</b>	<b>Checked</b>	
10.05.2021		James I	CAB	
<b>Drawing Title</b>				
Location Plan				
<b>Job/Draw No</b>				<b>Rev</b>
16635-120				A
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<b>THE HARRIS PARTNERSHIP</b>				<b>A R C H I T E C T S</b>
www.harrispartnership.com				



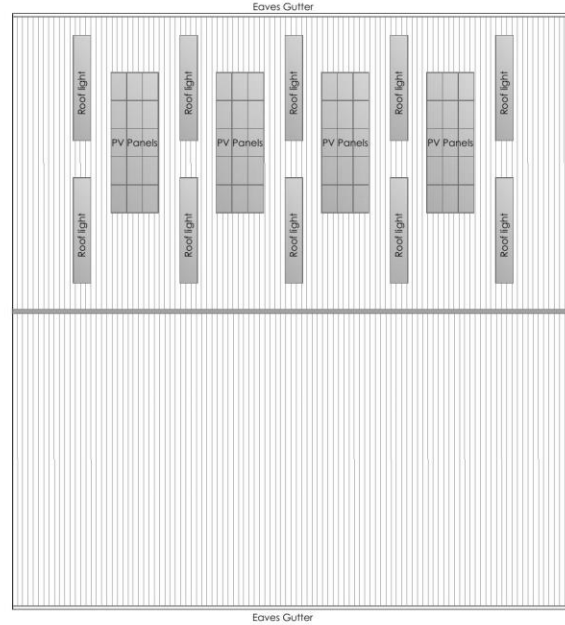






Proposed GA Plan

**Garage**  
6,500sqft (604sqm)  
**Offices**  
3,616sqft (336sqm)  
**Total 10,116sqft (940sqm) GIA**



Proposed Roof Plan

Photovoltaic panels to be added under permitted development rights once the building has been completed



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Project Title	Proposed Maintenance Depot		
Client	National Highways		
Status	Planning		
Scale	1:200	Drawing Size	A3
Date	19.10.2023	Drawn by	CC
		Checked	CAB

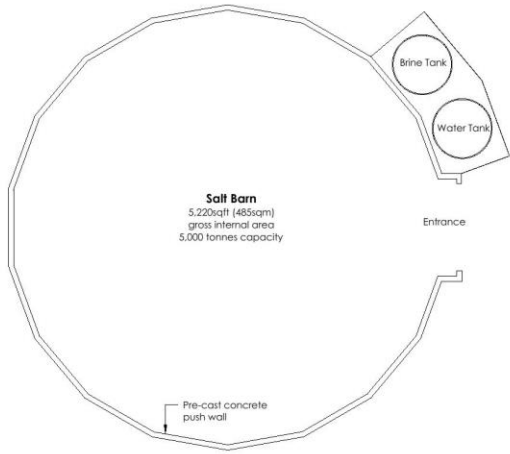
G	06.11.2023	Lockers/stow/WCs amended. roller shutter added	JAI	CAB
F	02.11.2023	Roof amended	JAI	CAB
E	19.10.2023	locker room, shower and garage (entrance amended)	CC	CAB
D	22.03.2023	Service doors to south-east elevation removed	JAI	PB
C	19.11.2023	PV panels note added	JAI	PB
B	17.11.2023	Service doors added to rear. FE doors equalised, window amended to front	JAI	PB
A	13.07.2023	PV panels added to roof	JAI	PB
Rev	Date	Description	Rev By	Drawn By

Drawing Title	Proposed Offices/Garage GA & Roof Plans		
Job-Draw No	16635-123	Rev	G

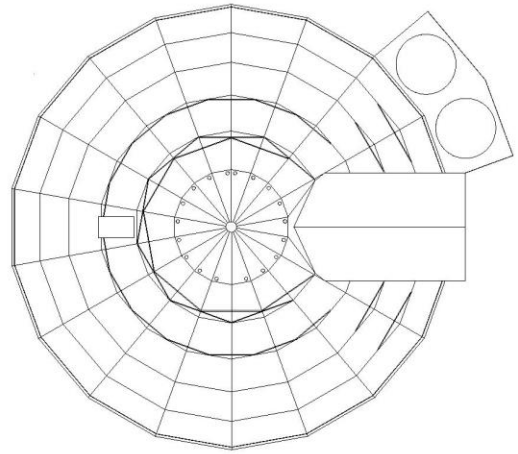
- 2 St. James North, Wisbech, PE13 3GA t: 01924 291800
- Carvers Workshop, 77 Dale Street, Manchester, M1 2HG t: 0161 208655
- The Old Factory, 79 High Street, Newry, County Down, BT16 5AB t: 01908 211527
- 85 London Road, Reading, RG1 3BT t: 0118 527750
- 10 Gales Court, St Christophers Place, London, W15 1JJ t: 0207 409215



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Proposed GA Plan



Proposed Roof Plan

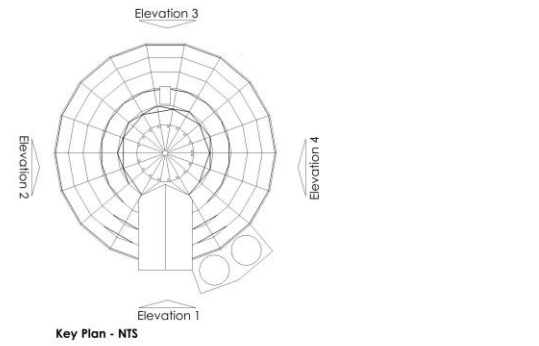
Rev	12/04/2024	Annotation amended	JAL	PRW
Rev	07/12/2023	Rectangular beam changed	JAL	CAB
Rev		Description	Rev No	CHK'd By
Project Name	Proposed Maintenance Depot			
	Freebridge Park Clentchwarton Road King's Lynn			
Client	National Highways			
Work	Planning			
Scale	1:200	Drawing Size	A3	
Date	10/05/2021	Drawn by	James J	Checked CAB
Drawing No	Proposed Salt Barn GA & Roof Plans			
Job-Comp No	16635-124	Rev	B	
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51

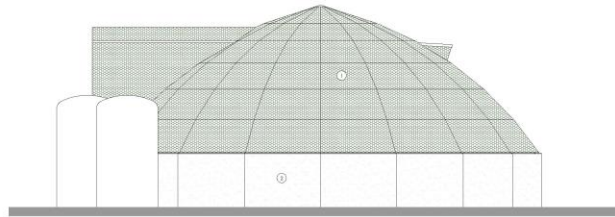
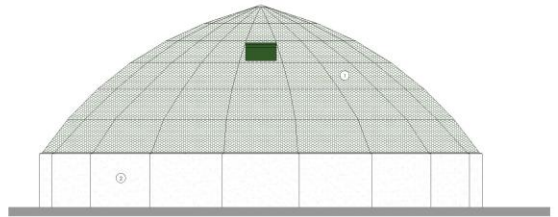
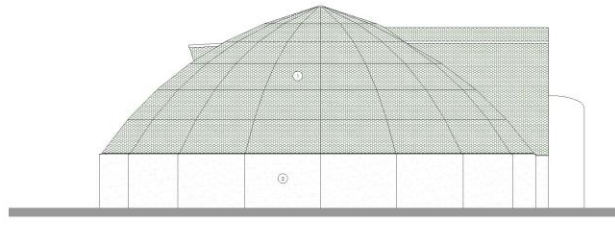
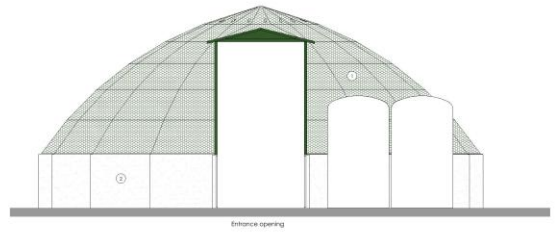


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**Material Key:**

- ① Aluminium roofing fittings with fibre glass waterproofing - colour green like steel
- ② Concrete push walls

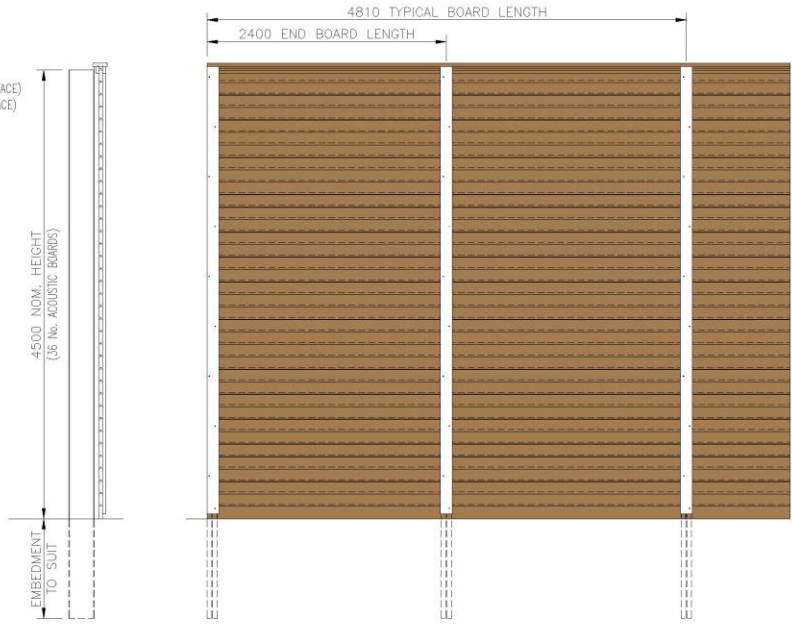


Author	Project Manager	Drawn	Scale
Checked	Project Engineer	Reviewed	Scale
Issue	Project Engineer	Reviewed	Scale
Project Name: Proposed Maintenance Depot Construction Road Kings Lynn			
Client: National Highways			
Date: Planning			
Date:	1/1/2021	Drawn by:	AT
Date:	11/05/2021	Drawn by:	James CAB
Description: Proposed Staff Room Elevations			
Reference:	16635-126	Sheet:	18
Approved by: [Signature] Date: [Date]			
Approved by: [Signature] Date: [Date]			
Approved by: [Signature] Date: [Date]			
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Approved by: [Signature] Date: [Date]			

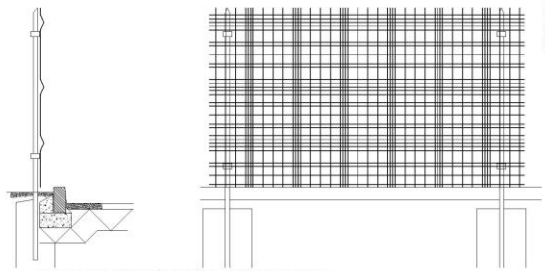


**MATERIALS.**

- ACOUSTIC BOTTOM BOARD: 139 x 34 thk (120 Nom. FACE)
  - ACOUSTIC T & G BOARD: 139 x 34 thk (123 Nom. FACE)
  - CAPPING RAIL: 145 x 34 thk PAR
  - COUNTER RAIL: 70 x 34 thk PAR
  - POST COVER BOARD: 120 x 35 thk
  - TIMBER BATTEN: 100 x 50 thk SAWN FINISH
  - STEEL POSTS: UNIVERSAL BEAMS
  - ASSESSED TO SUIT SITE LOCATION.
  - ALL FIXINGS ARE GALVANISED OR STAINLESS STEEL.
- FINISH.**
- TIMBER: TREATED.
  - STEEL: GALVANISED TO BS EN ISO 1461



Proposed 4.5m High Acoustic Fencing



2m high polyester powder coated paladin fencing in black

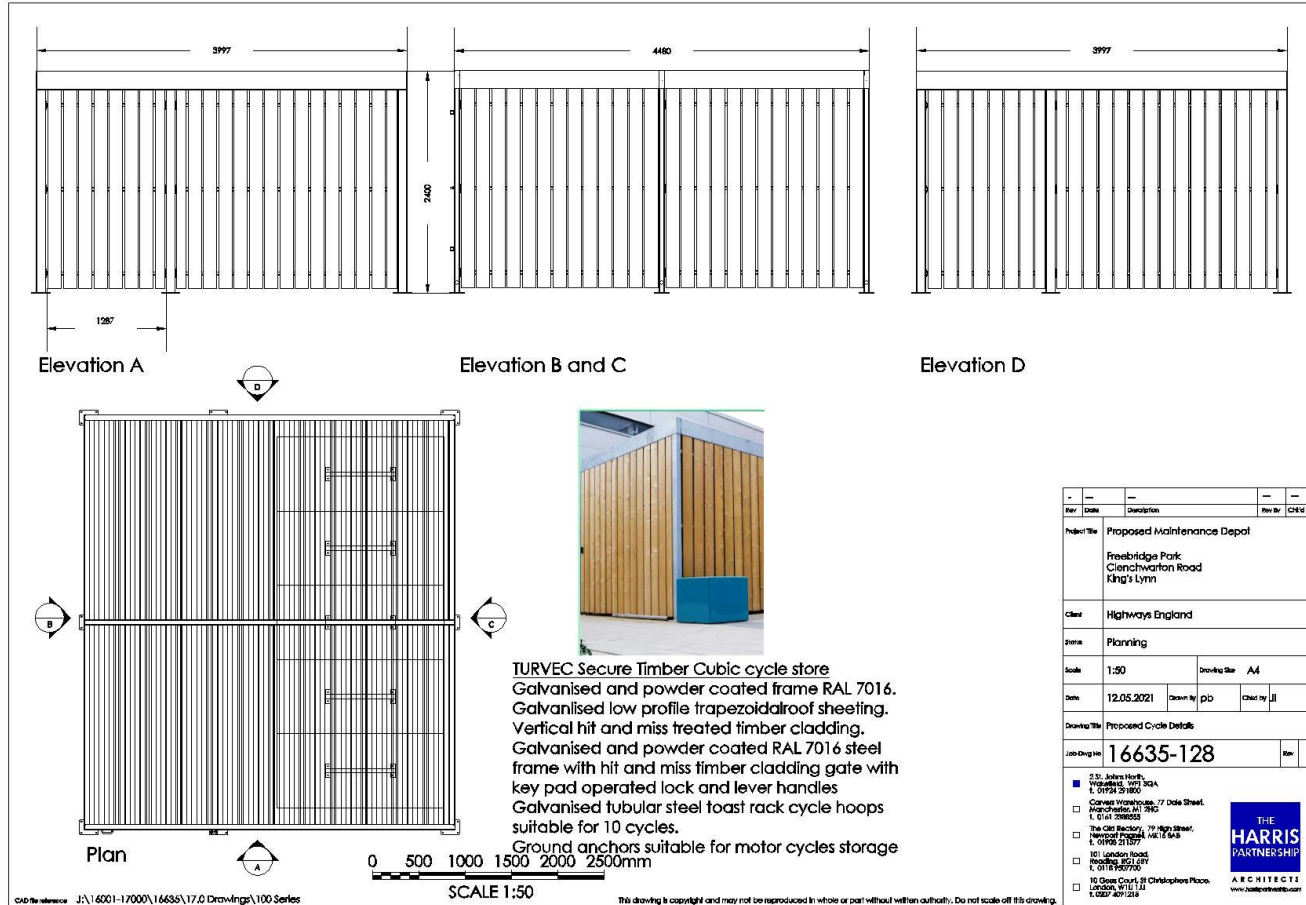
Proposed 2m High Paladin Fencing

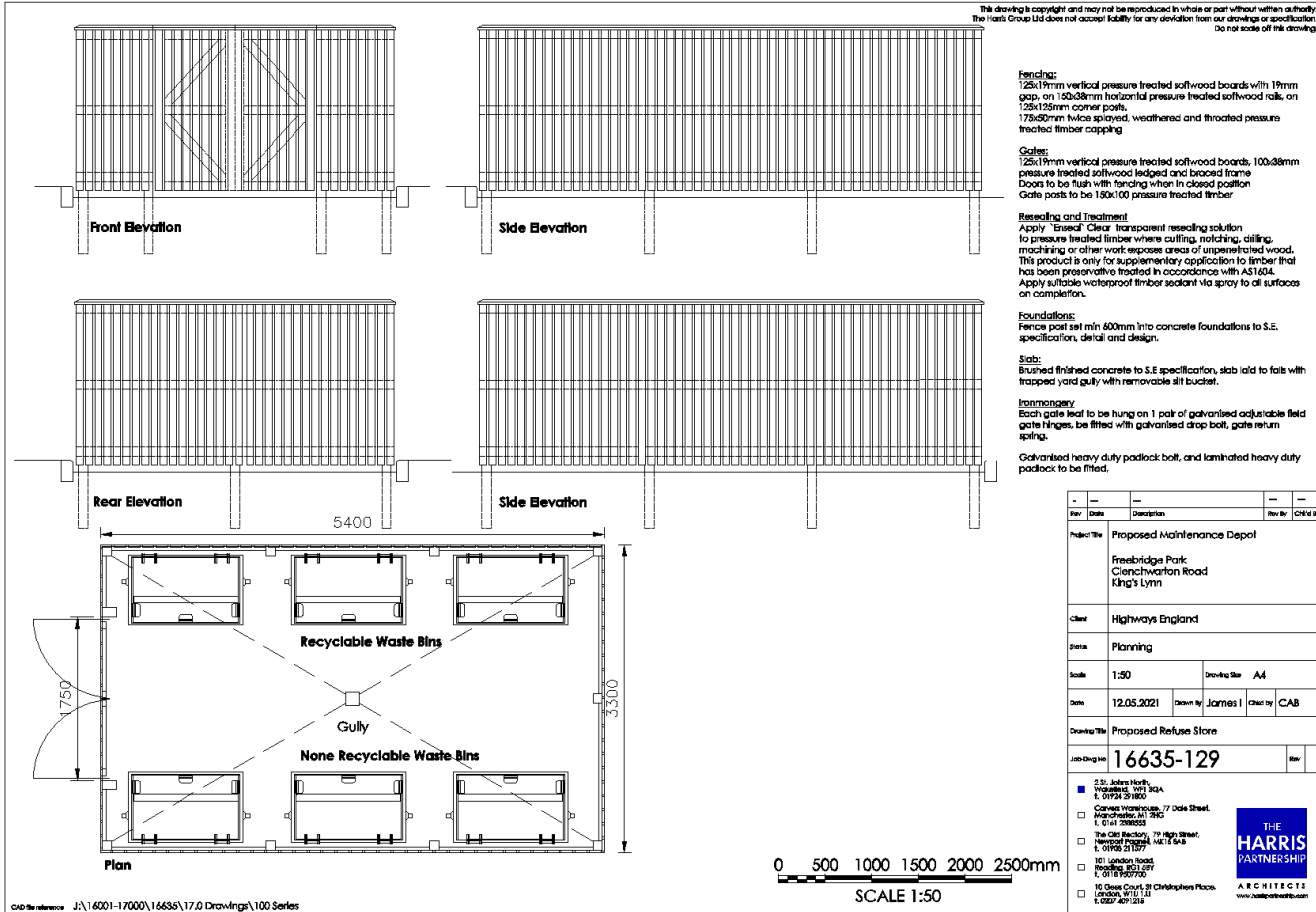
Rev	Date	Description	Rev By	Check By
A		Details corrected in accordance with updated plan.	JJA	CAK
B				
C				
D				
E				
F				
G				
H				
I				
J				
K				
L				
M				
N				
O				
P				
Q				
R				
S				
T				
U				
V				
W				
X				
Y				
Z				

Project Title	Proposed Maintenance Depot		
Client	Highways England		
Status	Planning		
Scale	1:25	Drawing Size	A2
Date	12/05/2021	Drawn By	PB
		Checked	JJA
Drawing Title	Proposed Fencing Details		
Rev	16635-127	Rev	A
Location	239, Kings North Highways, W11 3QA London, W11 3QA		
Contractor	Canopy Workshops, 77 Dale Street, Manchester, M1 3DG 0161 2386555		
Architect	The Old Rectory, 79 High Street, Reading, RG1 1AA 0118 936 700		
Client	101 London Road, Reading, RG1 1AA 0118 936 700		
Consultant	10 Green Court, 31 Chichester Place, London, W1D 1JQ 0207 4092115		







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**Finishing:**  
126x19mm vertical pressure treated softwood boards with 19mm gap, on 150x38mm horizontal pressure treated softwood rails, on 126x126mm corner posts, 175x32mm nails spaced, weathered and throated pressure treated timber capping

**Gates:**  
126x19mm vertical pressure treated softwood boards, 100x38mm pressure treated softwood ledged and braced frame  
Doors to be flush with finishing when in closed position  
Gate posts to be 150x100 pressure treated timber

**Sealing and Treatment:**  
Apply 'Euseal' Clear transparent sealing solution to pressure treated timber where cutting, notching, drilling, machining or other work exposes areas of unseasoned wood. This product is only for supplementary application to timber that has been preservative treated in accordance with AS1604. Apply suitable waterproof timber sealant via spray to all surfaces on completion.

**Foundations:**  
Fence post set min 400mm into concrete foundations to S.E. specification, detail and design.

**Job:**  
Burned finished concrete to S.E. specification, slab laid to falls with trapped yard gully with removable silt bucket.

**Ironmongery:**  
Each gate leaf to be hung on 1 pair of galvanised adjustable field gate hinges, be fitted with galvanised drop bolt, gate return spring.

Galvanised heavy duty padlock bolt, and laminated heavy duty padlock to be fitted.

Rev	Date	Description	Rev No	CHK'd by
<b>Project Title</b>				
Proposed Maintenance Depot				
Freebridge Park Clenchwarton Road King's Lynn				
<b>Client</b>				
Highways England				
<b>Phase</b>				
Planning				
<b>Scale</b>				
1:50			Drawing Size A4	
<b>Date</b>				
12.05.2021		Drawn by James I		
		Check by CAB		
<b>Drawing Title</b>				
Proposed Refuse Store				
<b>Job Drawing No</b>				
16635-129				Rev
<ul style="list-style-type: none"> <li><input checked="" type="checkbox"/> 2 St. Johns North, Waverley, Norfolk, NR24 2QA, 01693 218600</li> <li><input type="checkbox"/> Cornhill Works, 77 Oak Street, Norwich, Norfolk, NR1 3AG, 01693 208003</li> <li><input type="checkbox"/> The Old Rectory, 10 High Street, Norwich, Norfolk, NR1 1E 6AB, 01693 211777</li> <li><input type="checkbox"/> 101 London Road, Norwich, NR2 1JY, 01693 207000</li> <li><input type="checkbox"/> 10 One Court, 21 Christchurch Place, London, W1S 1LJ, 0207 4091216</li> </ul>				

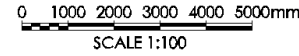
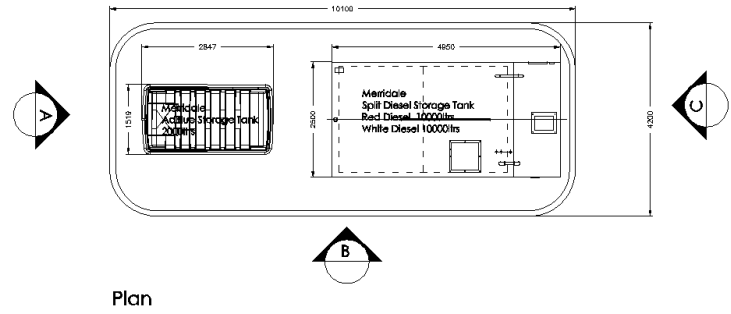
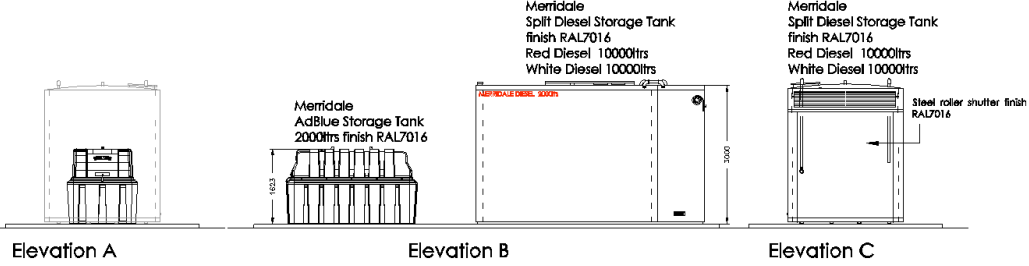


brushed concrete hard standing with concrete bullnose kerbs to the perimeter  
The fuel tank is inside a second tank and not exposed to the atmosphere.  
The bund cannot fill with rain water or other debris and overflow will be routed into the bund via an internal breather.

The outer tank has a capacity of 110% of the inner tank, for example, a 20,000L tank has a bund of 22,000L.

Off the shelf plastic tank for AdBlue 2000L in RAL 7016  
Steel tanks in RAL 7016, manufactured to BS799 conforming to QFTEC, Environment Agency and DEFRA for oil storage regulations for businesses.

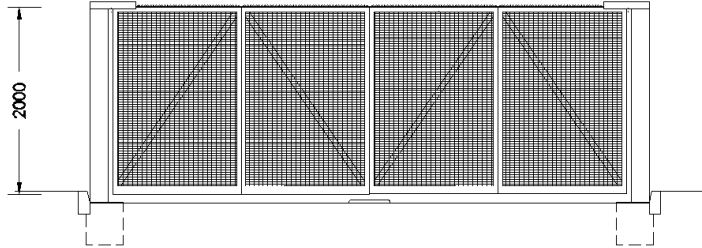
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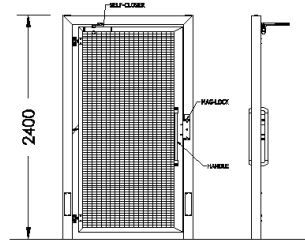
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Project Title: Proposed Maintenance Depot				
Freebridge Road Clanchurch Road King's Lynn				
Client: Highways England				
Disc: Planning				
Scale: 1:100		Drawing Size: A4		
Date: 11/05/2021	Drawn by: po	Checked by: James I		
Drawing Title: Proposed Fuel Island				
Job/Dwg No:	16635-130	Rev:		
<input checked="" type="checkbox"/> 2/21 John Harris 16635-130-1301 1. 01/04/2020 <input type="checkbox"/> Canvas Workshop, 77 Dale Street, Manchester, M1 3AQ 1. 01/04/2020 <input type="checkbox"/> The CAD Factory, 10 Appleton, 2. 01/05/2021 <input type="checkbox"/> 101 London Road Norwich, NR2 1NY 1. 01/05/2021 <input type="checkbox"/> 10 One Court, 21 Clanchurch Place, London, W11 1JL 1. 02/04/2018				
				 A R C H I T E C T S www.harrisarchitect.com

CAD Reference: J:\16001-17000\16635\17.0 Drawings\100 Series

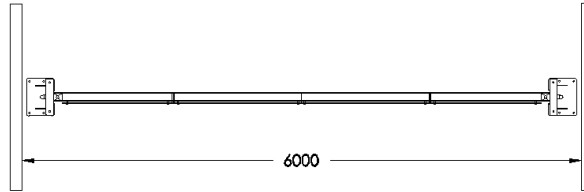




Proposed Elevation of Vehicle Access Gates



Proposed Elevation of Personnel

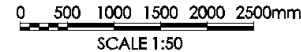


Proposed Plan of Vehicle Access Gates

**PERSONNEL GATE**  
 Manual operation, with Maglock and closer  
 Galvanised and Powder Coated finish in Black  
 Security mesh infill panels with anti tamper fixings, top of frame to be fitted with anti climb deterrent.

**BI FOLDING SPEED GATES**  
 Trackless bi-folding speed gate  
 Galvanised and Powder Coated finish in Black  
 Security mesh infill panels with anti tamper fixings, top of gate to be fitted with anti climb deterrent.

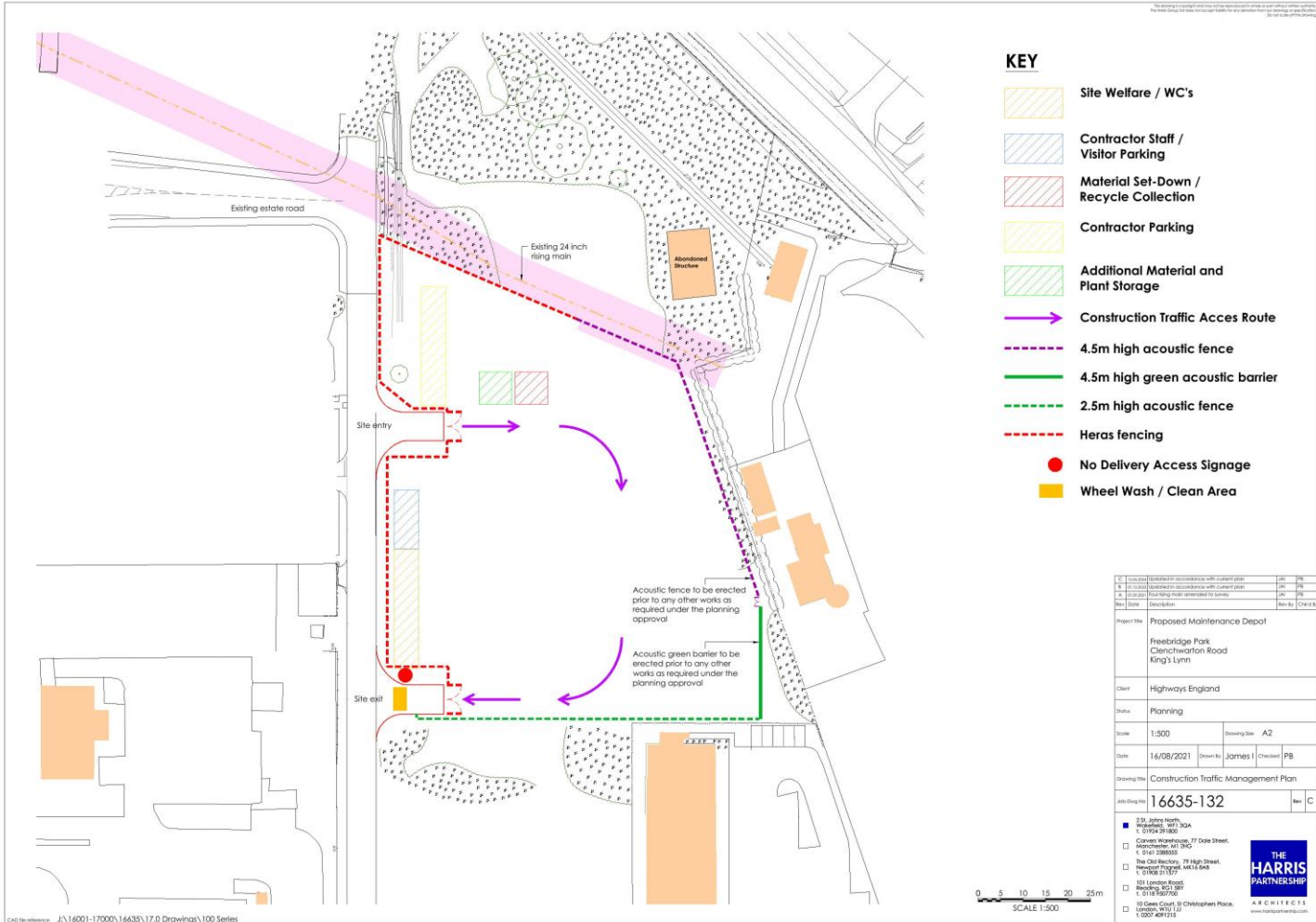
Rev	Date	Description	Rev By	CHK'd by
1				
<b>Project Title</b> Proposed Maintenance Depot				
Freebridge Park Clenchwarton Road King's Lynn				
<b>Client</b> Highways England				
<b>Stage</b> Planning				
<b>Scale</b> 1:50		<b>Drawing Size</b> A4		
<b>Date</b> 12/05/2021	<b>Drawn by</b> James I	<b>Check by</b> PB		
<b>Drawing Title</b> Proposed Gate Details				
<b>Job/Dwg No</b> 16635-131		<b>Rev</b>		



- 2.51 John's North, Wokingham, WOK SGA 6, 01753 518600
- Corner Wokingham, 77 Oak Street, Wokingham, WOK SGA 6, 01753 518600
- The Old Rectory, 21 High Street, Newport Pagnell, MK16 9AS 8, 01753 511897
- 101 London Road, Reading, RG1 1JF 8, 0118 927777
- 10 Close Court, 21 Christopher Place, London, W1G 1JL 1, 0207 4091216







**KEY**

-  Site Welfare / WC's
-  Contractor Staff / Visitor Parking
-  Material Set-Down / Recycle Collection
-  Contractor Parking
-  Additional Material and Plant Storage
-  Construction Traffic Access Route
-  4.5m high acoustic fence
-  4.5m high green acoustic barrier
-  2.5m high acoustic fence
-  Heras fencing
-  No Delivery Access Signage
-  Wheel Wash / Clean Area

C	Issue for circulation in accordance with current plan	JA	PH
B	Issue for circulation in accordance with current plan	JA	PH
A	Issue for circulation in accordance with current plan	JA	PH
Rev	Date	Description	Rev. By
Project Title: Proposed Maintenance Depot Freebridge Park Clenchwarton Road King's Lynn			
Client: Highways England			
Status: Planning			
Scale:	1:500	Drawing Date:	A2
Date:	16/08/2021	Drawn by:	James I
		Checked:	PB
Drawing Title: Construction Traffic Management Plan			
Issue/Quote No:	16635-132	Rev:	C
220, James Street, King's Lynn, Norfolk PE30 1AA T: 01553 814343 <input type="checkbox"/> Conveys Motorhouses, 77 Dore Street, Manchester, M1 2JQ T: 0161 2388555 <input type="checkbox"/> The Old Rectory, 29 High Street, Newport Pagnell, MK16 8AS T: 01494 21177 <input type="checkbox"/> 361 London Road, Reading, RG2 1PR T: 0118 960700 <input type="checkbox"/> 150 Great Court St, Christchurch, Poole, Dorset, BH12 1JL T: 01202 601210			



**NOTES**

1. All proposed works shall be carried out in accordance with the following conditions:

2. The contractor shall be responsible for obtaining all necessary consents and licences from the relevant authorities.

3. The contractor shall be responsible for the safety of the public and for the protection of the environment.

4. The contractor shall be responsible for the protection of the existing trees and structures on the site.

5. The contractor shall be responsible for the removal and disposal of all waste materials.

6. The contractor shall be responsible for the reinstatement of the site to its original condition.

7. The contractor shall be responsible for the provision of a final report to the Council.

**PLANTING SCHEDULE**

Species	Qty	Size	Planting Date	Planting Location	Planting Method
Planting Method	Qty	Size	Planting Date	Planting Location	Planting Method

**Mixed Species Native Boundary Hedge Planting**

Species	Qty	Size	Planting Date	Planting Location	Planting Method
Planting Method	Qty	Size	Planting Date	Planting Location	Planting Method

**Single Species Native Hedge Planting**

Species	Qty	Size	Planting Date	Planting Location	Planting Method
Planting Method	Qty	Size	Planting Date	Planting Location	Planting Method

**Other**

Item	Qty	Size	Planting Date	Planting Location	Planting Method
Planting Method	Qty	Size	Planting Date	Planting Location	Planting Method

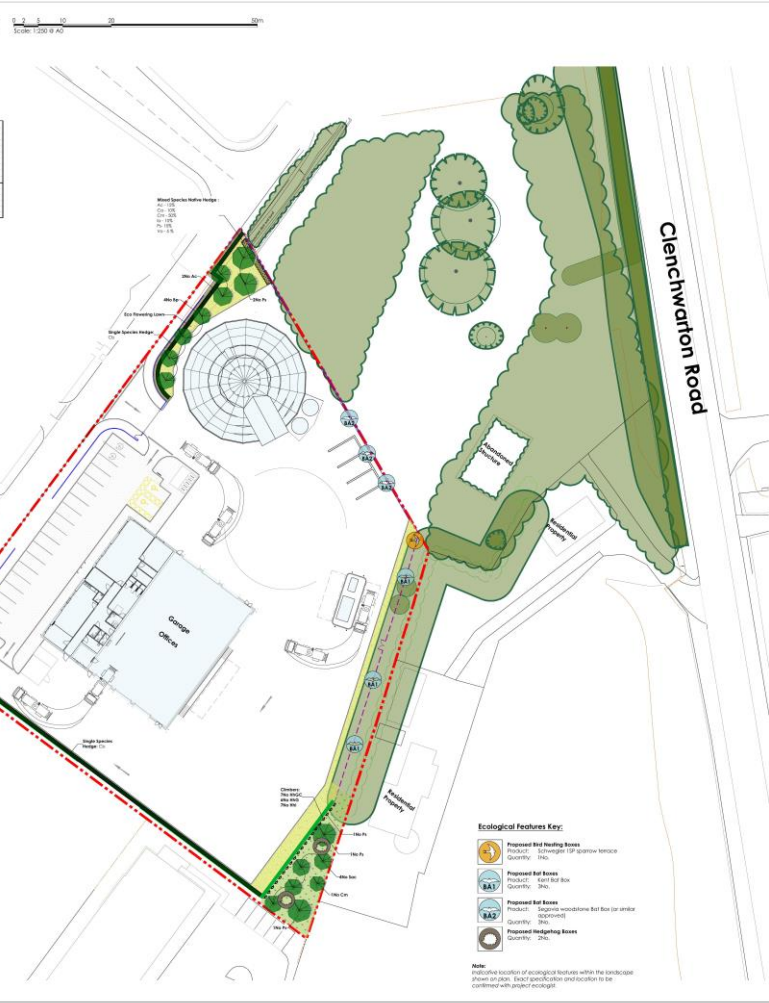
**SOFT LANDSCAPE KEY**

- Existing trees / hedges / vegetation to be retained
- Proposed mixed species native hedge planting
- Proposed single species native hedge planting
- Proposed ornamental tree / shrub / plant
- Proposed ornamental tree / shrub / plant in association with BS2424
- Proposed ornamental tree / shrub / plant in association with BS2424
- Proposed ornamental tree / shrub / plant in association with BS2424

**Ecological Features Key**

- Proposed Bat Hiding Boxes
- Proposed Bat Boxes
- Proposed Bat Boxes
- Proposed Hiding Boxes

**Note:** The location of ecological features within the landscape plan is shown. Each species and location to be confirmed with ecologist.



**SOFT LANDSCAPE SPECIFICATION**

**GENERAL**

The soft landscape shall be carried out in accordance with the following conditions:

1. The contractor shall be responsible for the provision of a final report to the Council.

2. The contractor shall be responsible for the safety of the public and for the protection of the environment.

3. The contractor shall be responsible for the protection of the existing trees and structures on the site.

4. The contractor shall be responsible for the removal and disposal of all waste materials.

5. The contractor shall be responsible for the reinstatement of the site to its original condition.

6. The contractor shall be responsible for the provision of a final report to the Council.

**PLANTING**

The contractor shall be responsible for the provision of a final report to the Council.

**MAINTENANCE**

The contractor shall be responsible for the provision of a final report to the Council.

**CONSTRUCTION**

The contractor shall be responsible for the provision of a final report to the Council.

**COMPLETION**

The contractor shall be responsible for the provision of a final report to the Council.

**SOFT LANDSCAPE KEY**

Existing trees / hedges / vegetation to be retained

Proposed mixed species native hedge planting

Proposed single species native hedge planting

Proposed ornamental tree / shrub / plant

Proposed ornamental tree / shrub / plant in association with BS2424

Proposed ornamental tree / shrub / plant in association with BS2424

Proposed ornamental tree / shrub / plant in association with BS2424

**Boundary Space Key**

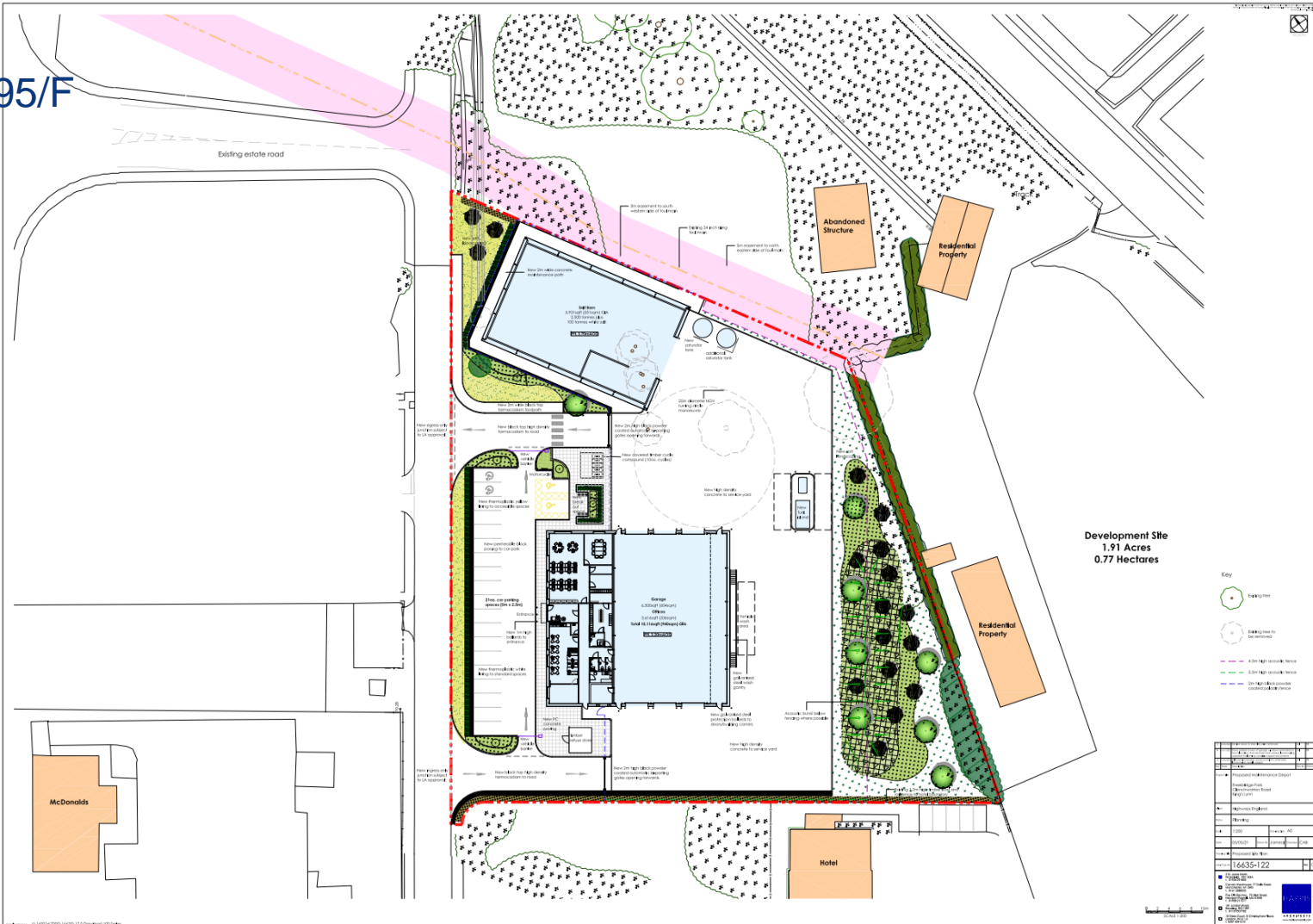
- Change of Use
- Proposed Highway
- Proposed Office
- Proposed Shop
- Proposed Game Office
- Proposed Office
- Proposed Shop
- Proposed Game Office

**16635-VL 101**

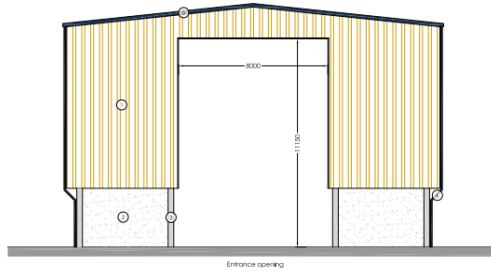
**vector**

**16635-VL 101**

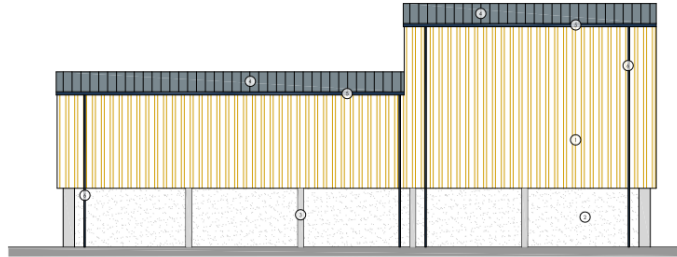
**16635-VL 101**





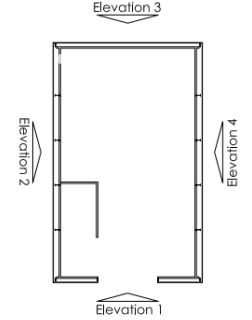


Proposed Elevation 1

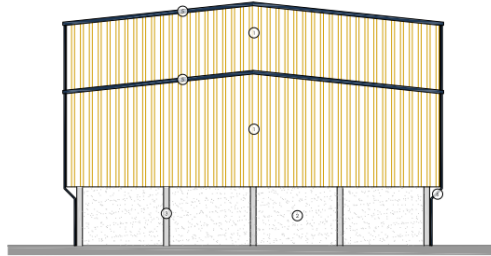


Proposed Elevation 2

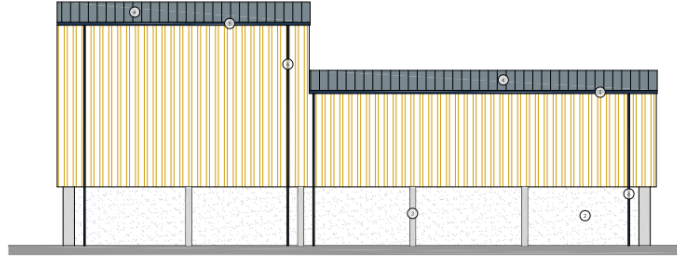
- Material Key: -**
- Horizontal cladding
  - Concrete pump slab
  - Structured steel columns to extend face of concrete pump slab
  - Horizontal roof cladding with 100 rockwool Color: Metal grey RAL 7002
  - PVC - Aluminium roof cladding Color: Silver RAL 9006
  - PVC - Aluminium side cladding Color: Silver RAL 9006



Key Plan (NTS)



Proposed Elevation Proposed Elevation 3



Proposed Elevation 4

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Project	Proposed Maintenance Depot
Location	Clanchurch Road Kings Lynn
Client	Highways England
Discipline	Planning
Scale	1:100
Date	11/05/2021
Author	James I
Checker	CAB
Project Ref	Proposed Staff Barn Elevations
Sheet No	16635-126
Sheet Title	16635-126
Project Location	<ul style="list-style-type: none"> <li>23, Abbey Way, Kings Lynn, PE30 2JG</li> <li>Site: Clanchurch Road, Kings Lynn, PE30 2JG</li> <li>Site: Clanchurch Road, Kings Lynn, PE30 2JG</li> <li>Site: Clanchurch Road, Kings Lynn, PE30 2JG</li> <li>Site: Clanchurch Road, Kings Lynn, PE30 2JG</li> <li>Site: Clanchurch Road, Kings Lynn, PE30 2JG</li> <li>Site: Clanchurch Road, Kings Lynn, PE30 2JG</li> <li>Site: Clanchurch Road, Kings Lynn, PE30 2JG</li> <li>Site: Clanchurch Road, Kings Lynn, PE30 2JG</li> <li>Site: Clanchurch Road, Kings Lynn, PE30 2JG</li> </ul>
Client Name	Highways England
Client Ref	16635-126
Project Manager	James I
Project Ref	16635-126
Sheet Title	16635-126



23/02195/F

Slide  
No.62

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SE corner of site looking towards  
Freebridge Farm's rear elevation.





Southern part of site looking towards  
Freebridge Farm's rear elevation.





Southern part of site looking  
northwest towards conifer hedge.

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Southern part of site looking west.





Southern part of site looking southwest.



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Southern part of site looking south.





Southern part of site looking southeast.

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View from within site looking south.



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View from within site looking east.



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Slide  
No.71

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View from western edge of site looking northeast.





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No.72

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View from western edge of site looking north.



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Slide  
No.73

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View from western edge of site looking northwest.





View from western edge of site looking west.



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No.75

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View from western edge of site looking southwest.



23/02195/F

Slide  
No.76

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View from Freebridge Farm annexe.





View towards Freebridge Farm with annexe in foreground and surrounding conifer hedges.

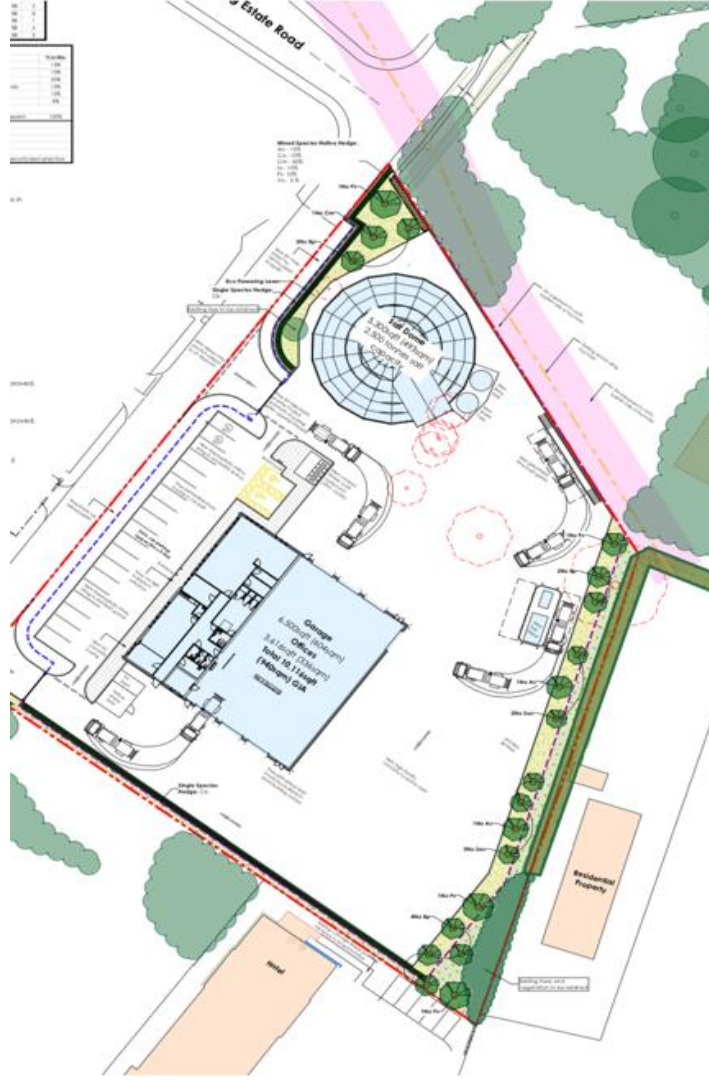


# Speaker Gary Meads









From: Natacha Osler [redacted]  
 Sent: Wednesday, March 20, 2024 9:55 AM  
 To: james.ingram [redacted]  
 Subject: 23/02195/F  
 Importance: High

3

**This Message originated outside your organization.**

Hi James

In relation to surface water drainage, the following is an extract from the original officer report. This clearly suggests that some on site attenuation is required. If that is the case then the best place for it would be in an increased landscape buffer next to the sensitive receptor.

**Drainage:** The drainage information that accompanied the application has confirmed that discharge of surface water drainage via infiltration methods is not deemed feasible due to the underlying ground strata and potential high water table level, and that a direct connection to watercourse is not achievable due to the location of the nearest watercourse and the requirement to access this across third party land, which cannot be guaranteed.

It is therefore proposed to discharge surface water to the existing surface water drain within the access road at a rate of 3.0 litres/second achieved by a 75mm orifice flow control device. As surface water discharge from the site will be restricted, on-site surface water attenuation will be provided. No details have been provided to show where the surface water will be contained prior to discharge (basin or pond etc.) As such further details regarding surface water drainage will be secured by condition.

**I would strongly suggest that this buffer is increased**, because the following does not sound good, and I can see committee members suggesting the encroachment is too much of a retrograde step and not acceptable, indeed following a further site visit, I am likewise thinking this:

- Loss of c.616m<sup>2</sup> landscaping in main landscape area (1140m<sup>2</sup> to 523m<sup>2</sup>)
- Previously largely triangular with 4m at 'tip' and 30m at 'base'.
- Now largely rectangular at 6m width with a small triangular area at the south that is c.13m at the 'base'.
- Previously landscape buffer meant that operation yard area was 21m from the dwelling at the closest and 30m at the furthest; now it's 11m and 14m respectively. This means the operational area is 16m closer to the rear amenity space of the dwelling to the east (Freebridge Farm) than the approved proposal.
- In terms of distance from the acoustic fence, previously it was 15m from the dwelling at the closest point and 23.6m at the furthest; now it's 8m and 11.3m, and 18.5m and 23m from the boundary with the rear garden; **now it's 5.5m\*** and 10m respectively. This means the fence is 12.3m closer to the dwelling to the east (Freebridge Farm) and 13m closer to the rear amenity space than the approved proposal.
- Also, some small soft landscape areas at the entrance will be lost.

\*A 4.5m high acoustic boundary just 5.5m from the boundary with the rear amenity space is likely to be unacceptably overbearing and result in unacceptable overshadowing.

Kind regards  
 Natacha Osler, Senior Planner



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23/02195/F

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No.83



23/02195/F

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Slide  
No.84





National Environment and Planning... ⋮

<https://www.nepa.gov.jm> > Pl... PDF

# PLANNING CRITERIA FOR LOCATION OF PETROL FILLIN...

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PLANNING CRITERIA FOR  
LOCATION OF PETROL  
FILLING. STATIONS. 1. Station...

4 pages · 14 KB



9. Environmental impact on streams, lakes, ponds, aquifer, etc., will be taken into consideration. An Environmental Impact Assessment may be required from the applicant.
10. Buildings are to be located a minimum of 40 ft. from road property boundaries to provide adequate area for maneuvering of vehicles in the service area.
11. Canopies and supports over pumps and service equipment when located less than 20 ft. from interior residential lot lines or building or structure should be constructed of non-combustible material.
12. Petrol pumps shall be located a minimum of 100 ft. from any residential building.
13. No fuel pumps or other mechanical equipment shall be installed so as to permit servicing of motor vehicles standing in a public street or highway.
14. All service areas should be paved to avoid dust nuisance.
15. Exterior design of the building should be compatible with adjacent development and should be such that it is not detrimental to property values in the area.
16. In a residential area a landscaped open area 10 ft. wide shall be provided along the rear property boundary and 15 ft. wide along the side proper boundaries, and be separated from paved area by curb or other barrier.
17. Where the site adjoins the side or rear boundary of a residential lot, a solid wall 10 ft. in height should be constructed and maintained along that lot boundary.
18. A raised curb of at least 6" in height should be erected along street property lines except for driveway openings so as to prevent operation of vehicles on sidewalks, and to define entrance/exit points.

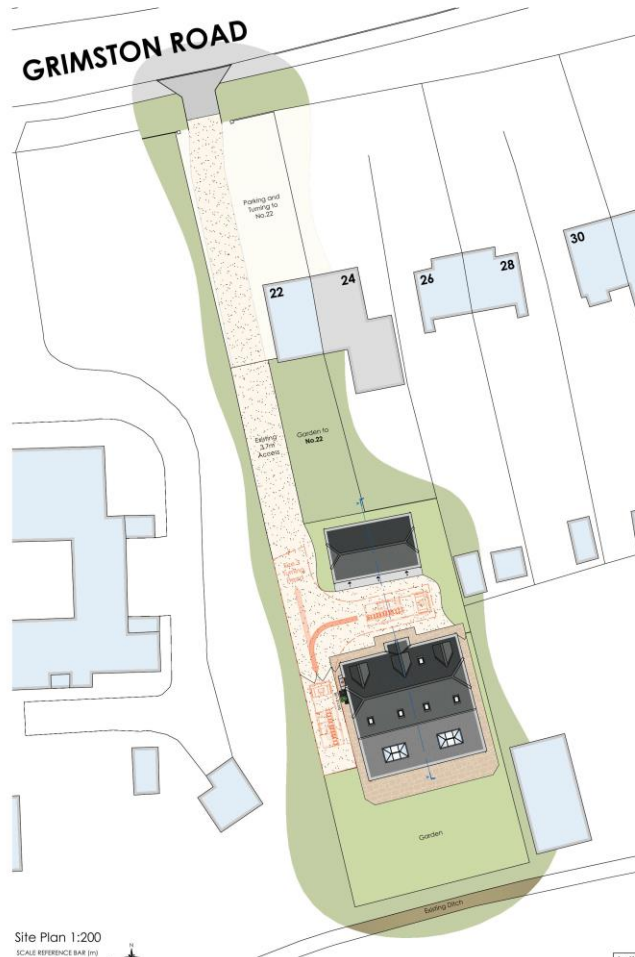


24/00241/RM

88







Site Plan 1:200  
 SCALE REFERENCE BAR (M)  
 0 5 10

**IAN · H · BIX**  
**Associates Ltd**  
 18 CHURCH  
 ARCHITECTURAL AND  
 BUILDING CONSULTANTS  
INCORPORATED IN ENGLAND  
 REGISTERED NUMBER 10771888  
 V.A.T. NO. 2542 590977  
 01473 353000  
 01473 353001  
 01473 353002

Project  
 Proposed Dwelling at  
 Land South of  
 24 Grimston Road  
 King's Lynn

Drawing Title  
 Proposed Site Plan

Notes	1. The site plan is not intended to be used for any other purpose than that for which it is intended.
Remarks	1. The site plan is not intended to be used for any other purpose than that for which it is intended.

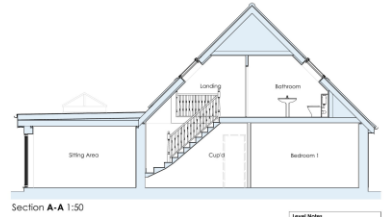
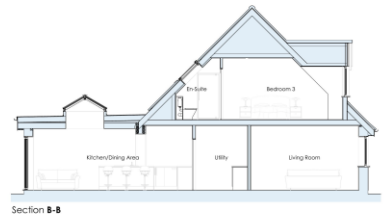
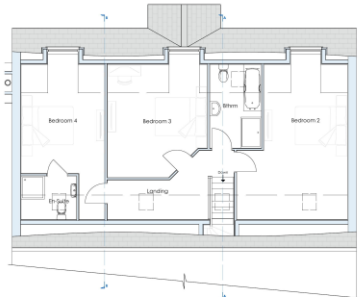
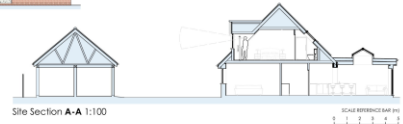
Date	1-2024-08-20
Drawn	February 2024
Checked	AKF
Project No.	2461-11B





**MATERIALS:**  
 Reddish  
 Terracotta  
 Terracotta  
 Terracotta  
 Red Brick  
 Red Brick

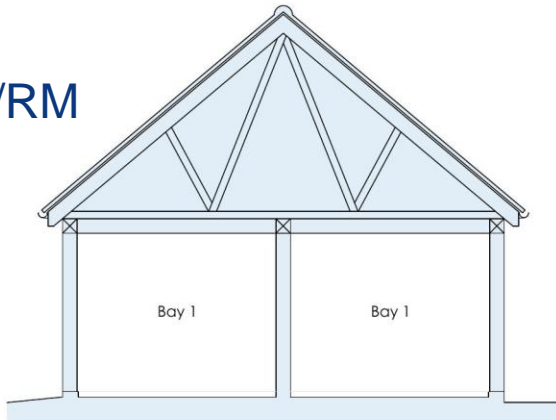
**MATERIALS:**  
 Kameleon Anthracite/Charcoal Gull (or similar)  
 White Clapnet and Festoon Gull (or similar)  
 Black UPVC  
 Black UPVC gutters and downpipes  
 Black sub-concrete roof tiles



**Level Note:**  
 Site levels to remain unchanged

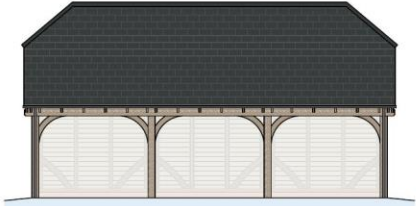
<p><b>IAN · H · BIX Associates Ltd</b>                  M · C · I · A · T                  ARCHITECTURAL AND BUILDING CONSULTANTS</p>		<p>Project: Proposed dwelling at Land South of 24 Grimston Road King's Lynn</p> <p>Drawing Title: Proposed Floor Plans, Elevations and Sections</p> <p>Scale: 1:50 &amp; 1:100 @ A1</p> <p>Date: February 2024</p> <p>Sheet: All</p> <p>Drawing No: 2461-10B</p>
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Section A-A 1:50

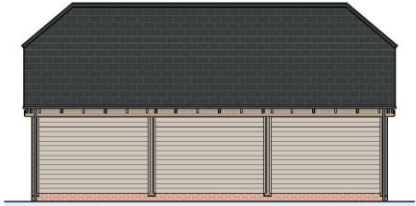
**MATERIALS:**  
 Brickwork  
 Cladding/timberwork  
 Rainwater Goods  
 Roof Covering  
 Kempston Antique/Camtech Old (or similar)  
 Treated timber cladding and Oak posts/beams  
 Black uPVC gutters and downpipes  
 Black slate roof tiles



South Elevation 1:100



West Elevation

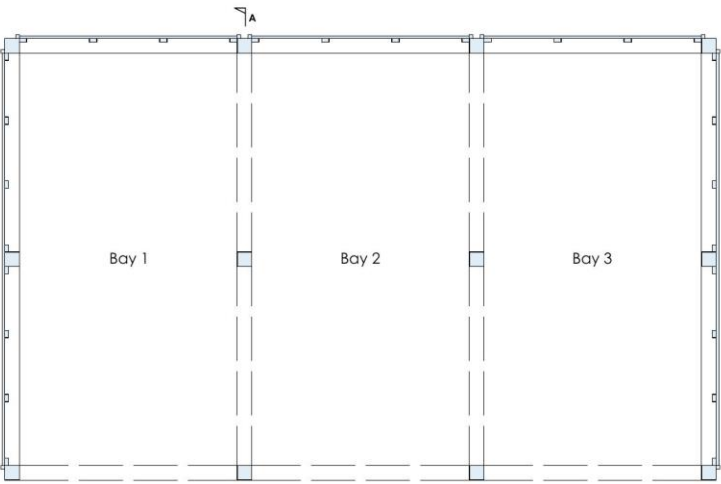


North Elevation

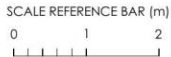


East Elevation

91



Floor Plan 1:50



<p><b>Notes</b></p> <p>1. The copyright of this drawing is the property of Ian H Bix Associates Ltd and shall not be copied without their consent.</p> <p>2. Measurements to be checked on site by the Contractors prior to construction. It shall be the responsibility of the Contractor to verify the dimensions of the Employer.</p>	<p><b>Project</b></p> <p>Proposed dwelling at Land South of 24 Gmston Road King's Lynn</p>
	<p><b>Revisions</b></p>
<p><b>IAN · H · BIX Associates Ltd</b>                  M · C · F · A · T                  ARCHITECTURAL AND BUILDING CONSULTANTS                  SANDPIPER HOUSE, LEBE WAY, WEST WITCH KING'S LYNN, NORFOLK PE33 9ST                  TEL: 01553 844077 FAX: 01553 844078                  EMAIL: mail@ihbix.co.uk WEB: www.ihbix.co.uk</p>	<p><b>Drawing Title</b></p> <p>Proposed Carport Plan Elevations and Sections</p>
	<p><b>Scale</b></p> <p>1:50 &amp; 1:100 @ A3</p>
	<p><b>Date</b></p> <p>February 2024</p>
<p><b>Level Notes</b></p> <p>Site levels to remain unchanged.</p>	<p><b>Drawn</b></p> <p>AW</p>
	<p><b>Drawing No.</b></p> <p>2461-12</p>

24/00241/RM

Slide  
No.91

92



View southwards from Grimston Road – from No.22 driveway.



24/00241/RM

Slide  
No.92

93



View northwards from No.22 of the site access onto Grimston Road.





View of site southwards from garden of No.22 Grimston Road.





Inside the site - view southwards.





Inside the site - view northwards towards Nos. 22 & 24 Grimston Road.





Rear of site – view northwards of western boundary towards neighbouring nursing home.



View northwards towards site access and Nos.22 & 24.





Neighbouring care home to west.

100



Wider context view of site viewed in a south-easterly direction.



# 24/00148/F

101

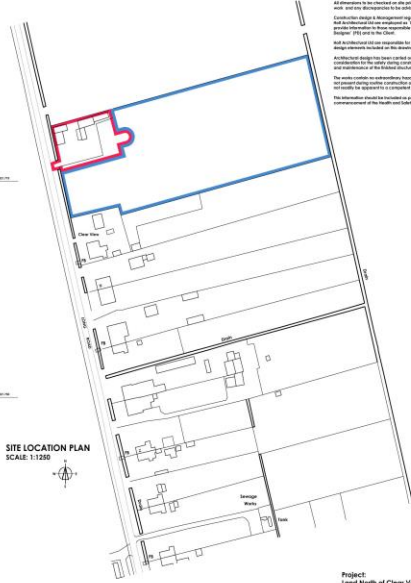


24/00148/F

102



SITE LOCATION PLAN  
SCALE 1:1250



**Notes**

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All dimensions are indicated unless otherwise stated.

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**Planning**

Slide  
No.101

Project:  
Lond North of Clear View  
Long Road  
Terlington St Clement  
PE34 4JL

Client:  
of Holt Architectural Ltd

Title:  
Existing site plan and  
location plan

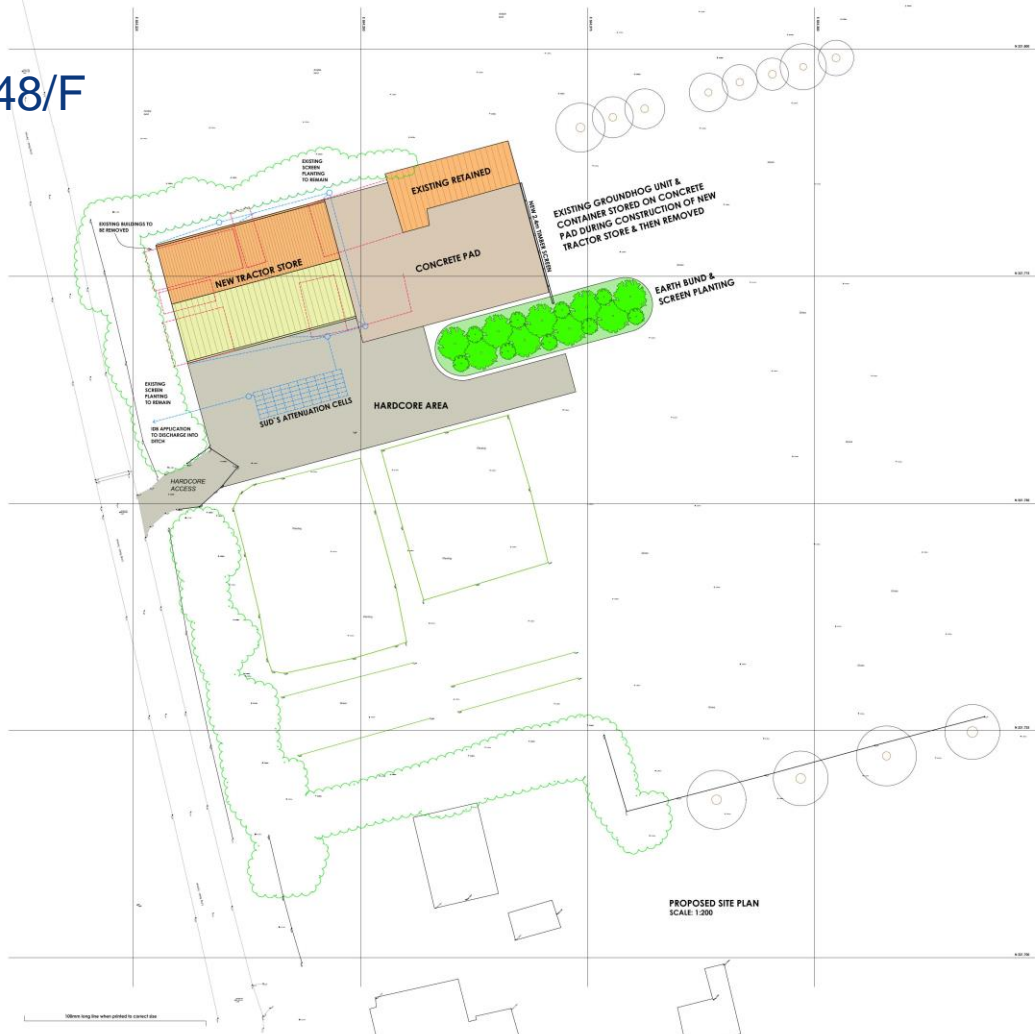
Revision Details:  
-  
-  
-

Issue Date: 23.12.23

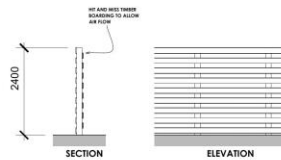
**HOLT ARCHITECTURAL LTD**

Units: 10/11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

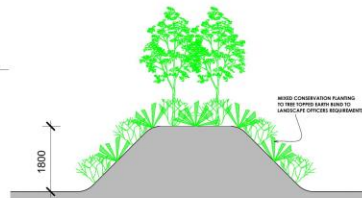




PROPOSED SITE PLAN  
SCALE: 1:200



PROPOSED TIMBER SCREEN  
SCALE: 1:50



EARTH BUND SECTION  
SCALE: 1:50

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Holt Architectural Ltd is responsible for the "architectural" design of the building and the landscaping.

Additional design has been carried out and will not be considered in the contract documents. The contractor and landscaper must refer to the contract documents for any additional requirements.

The contractor must refer to the contract documents for any additional requirements.

The contractor must refer to the contract documents for any additional requirements.

The contractor must refer to the contract documents for any additional requirements.

The contractor must refer to the contract documents for any additional requirements.

**Project:**  
Land North of Clear View  
Long Road  
Trefford St Clement  
PE34 4JL

**Client:**  
of Holt Architectural Ltd

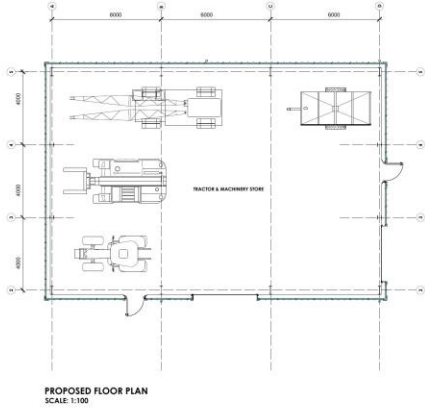
**Title:**  
Proposed site plan

**Revision Details:**  
Tractor store footprint reduced  
-

**Issue Date:** 17.3.24

**Holt Architectural Ltd**  
Bromley Hedge, Denham Road,  
Cobels, Norfolk, IP22 7HQ  
Phone: 0844 852 3543  
Email: info@holt-architectural.co.uk  
www.holt-architectural.co.uk

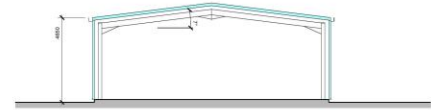
**Drawing Number:** HAL23-IR-200  
**Rev:** A  
**Project Size:** A1



PROPOSED FLOOR PLAN  
SCALE: 1:100



PROPOSED ROOF PLAN  
SCALE: 1:100



SECTION  
SCALE: 1:100



SOUTH ELEVATION  
SCALE: 1:100



EAST ELEVATION  
SCALE: 1:100



WEST ELEVATION  
SCALE: 1:100



NORTH ELEVATION  
SCALE: 1:100

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All dimensions are to be checked on the job by a competent person and any discrepancies to be notified immediately.

Construction design & Management regulations (CDM) 2015 shall be followed and all relevant 'Permit' and all permits obtained to those responsible for the 'Responsible Designer' (RD) role to be done.

All information shall be responsible for the 'Responsible Designer' (RD) role to be done.

Any information shall be responsible for the 'Responsible Designer' (RD) role to be done.

The works are on a temporary basis or site for use of a temporary nature and shall be subject to the conditions and requirements of the Planning Authority.

This information should be included as part of the construction of the building and shall be the responsibility of the client.

Notes  
Drawing Title: Planning

Slide No.103

Project:  
Land North of Clear View  
Long Road  
Trentington St Clement  
PE24 4LJ

Client:  
T M Browne Ltd

Title:  
Proposed Floor Plan & Elevations

Revision Details:  
Building width, length & height reduced

Issue Date: 19.3.24

HOLT ARCHITECTURAL LTD  
Bramley Hedge, Greenham Road,  
Colton, Norfolk, NE21 7NG  
Phone: 01603 855 5444  
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www.holt-architectural.co.uk

Drawing Number: HA123-1R-300  
Rev: A  
Paper Size: A1





24/00148/F

Slide  
No.105

106



View northwards along Long Road.





Existing access at time of submission.



Implemented modified access.



Implemented access showing culvert.

110



Existing buildings and container viewed from access point.

24/00148/F

Slide  
No.110



NW corner of site – buildings and container to be removed.





Existing buildings to be demolished.





113



Rear cart shed to be retained.

114



View eastwards down the holding.



24/00148/F

Slide  
No.114

115



View across to southern boundary.



# End of Presentation

116

